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ARTICLE 1 - PROJECT DESCRIPTION

Scope of Work

- 1.1 The work to be performed shall consist of the construction of a sewer project for the Metropolitan Sewerage District of Buncombe County, North Carolina, named **Kimberly Ave. @ Sedley Ave. Sanitary Sewer Rehabilitation, Project No. 2018029**. The project shall generally consist of the furnishing of all services, supplies, materials and equipment, and performing of all labor for the construction and installation of approximately 2154 L.F. of 8-inch HDPE, 514 L.F. of 8-inch SDR26 HW PVC, and 42 L.F. of 8-inch DIP mainline sewer, including manholes and all appurtenances related thereto.
- 1.2 The work shall be performed under unit price contract, and shall consist of furnishing all materials, supplies, and equipment; performing all labor and services incidental to or necessary for the complete construction of the project in accordance with the Plans and Specifications; and maintenance of each completed portion of the work until final acceptance of the entire project by the DISTRICT, unless otherwise approved by the ENGINEER.

ARTICLE 2 - PHYSICAL CONDITIONS/CONTRACT PLANS

- 2.1 **Physical Conditions.** There have been no subsurface explorations or reports utilized in the preparation of these contract documents.
- 2.2 **Contract Plans.** The work shall be performed in accordance with these specifications and contract plans, which are incorporated herein as part of the contract and which are identified by the following numbers and titles:

<u>Sheet No.</u>	<u>Description</u>
C-1	Cover, Index of Drawings & Vicinity Map
PL-1	Overall Sanitary Sewer Plan
PL-2	Sanitary Sewer Plan & Profile
PL-3	Sanitary Sewer Plan & Profile
D-1	Sanitary Sewer Details

ARTICLE 3 - PROJECT COORDINATION

3.1 Intent of Plans and Specifications

The intent of the Plans and Specifications is to prescribe a complete work that the CONTRACTOR undertakes to do in full compliance with the Contract. The CONTRACTOR shall do all work as provided in the Plans, Special Conditions Detail Sheets, Specifications and other parts of the Contract and shall do such

Section V: Special Conditions

additional, extra, and incidental work as may be considered necessary to complete the work in a satisfactory and acceptable manner. Any work or material not shown on the Plans or described in the Specifications, but which may be fairly implied as included in any item of the Contract, shall be performed and/or furnished by the CONTRACTOR without additional charge therefore. The CONTRACTOR shall furnish all labor, materials, tools, equipment and incidentals necessary to the prosecution of the work.

3.2 **Interpretation of Estimate**

The quantities of the work and materials shown on the Proposal form or on the Plans are believed to approximately represent the work to be performed and materials to be furnished and are to be used for comparison of bids. Payment to the CONTRACTOR will be made only for the actual quantities of work performed or materials furnished in accordance with the Plans and Specifications and it is understood that the quantities may be increased or decreased as hereinafter provided without in any way invalidating the bid prices.

3.3 **Time of Completion**

The CONTRACTOR shall commence work to be performed on the project under this agreement on a date to be specified in a written Notice to Proceed from the DISTRICT and shall duly complete all work under this agreement within **150 consecutive calendar days** from said date. For each day in excess of the completion time limits specified above, the CONTRACTOR shall pay the DISTRICT the sum of Three Hundred Dollars (\$300.00) as liquidated damages reasonably estimated in advance to cover the losses incurred by the DISTRICT by reason of failure of said CONTRACTOR to complete the work within the time specified, such time being in the essence of this Contract and a material consideration thereof.

3.4 **Pre-Construction Conference**

Prior to starting any construction work on this project, a conference will be held in the Construction Office of the DISTRICT for the purpose of verifying general construction procedures, expediting the handling of shop drawings and schedules, and to establish a working understanding between the parties concerned on the project. Present at the conference shall be a responsible representative of the CONTRACTOR and the CONTRACTOR's job superintendent. The time of the conference shall be as agreed upon by the CONTRACTOR and DISTRICT.

3.5 **Progress Meetings**

The CONTRACTOR and any subcontractors, material suppliers or vendors whose presence is necessary or requested shall attend meetings, referred to as Progress Meetings, when requested by the DISTRICT for the purpose of discussing the execution of the work. Each meeting will be held at the time and place designated

Section V: Special Conditions

by the DISTRICT. A schedule for monthly meetings will be agreed upon at the pre-construction conference. The ENGINEER will call for and schedule additional meetings if necessary. All decisions, instructions and interpretations made at these meetings shall be binding and conclusive on the CONTRACTOR and such decisions, instructions and interpretations shall be confirmed in writing by the DISTRICT.

The proceedings of these meetings will be recorded and the CONTRACTOR will be furnished with a reasonable number of copies for his use and for his distribution to the subcontractors' material suppliers and vendors involved.

- 3.6 Utility owners within the vicinity of the Project may include, but are not limited to, those listed below. The CONTRACTOR shall contact N.C. OneCall Center for utility locations within public rights of way and easements before digging, as required by NC State Statutes.

Call NC OneCall Center, Inc. (locators for Buncombe County) at “811”.

<u>Utility</u>	<u>Phone</u>
Buncombe County Emergency Services Fire, Police - NON EMERGENCIES ONLY (street closures, etc.)	250-6650
Buncombe County Board of Education Transportation Department	232-4240
Asheville Dispatch City Road Closures	252-1110
Asheville Transit Bus Lines	253-5691
Charter Communications 1670 Hendersonville Rd. Asheville, NC 28803	800-955-0511 Option 3
Public Service Gas Co. of N.C. Post Office Box 620 Asheville, N.C. 28802	877-776-2427
Progress Energy Power Outages	800-419-6356
A T & T Telephone Company	828-335-3584 704-378-6461 (after hours)

Section V: Special Conditions

M.S.D. of Buncombe County Construction Director 2028 Riverside Drive Asheville, N.C. 28804	225-8262
M.S.D. of Buncombe County Sewer Maintenance Division 2028 Riverside Drive Asheville, N.C. 28804	255-0061
City of Asheville Public Works Department Post Office Box 7148 Asheville, N.C. 28802	259-5853
City of Asheville Streets Division	259-5852 707-7578 (after hours)
City of Asheville Water Department	259-5975 777-4139 (after hours)
County of Buncombe Planning Director 46 Valley Street Asheville, N.C. 28801	250-4830

ARTICLE 4- USE OF EASEMENTS AND RIGHT OF WAY

4.1 Right of Way Special Provision Detail Sheets and Easements

Easement widths are shown on the Plans and Easement Plats. The Plats (not to scale) are included at the end of the Specifications. If requested, scaled copies of the same will be provided to the CONTRACTOR. Exceptions to the typical details are shown as applicable on the Plans.

The CONTRACTOR shall comply with all provisions of the SPDS and easement agreement that may be applicable to his construction process or the general construction of this project.

Unless otherwise specified, all items in these SPDS shall be considered incidental to the mainline sewer construction. Any compensation to the CONTRACTOR for these items shall be included in the per linear foot bid unit price for the mainline sewer pipe, unless otherwise specified herein or listed in the Bid Schedule.

Section V: Special Conditions

The SPDS and easement maps are attached for the following properties:

NAME	PIN	Included SPDS
Amy Elizabeth Cohen	9740-50-6706	No
Angela Baechtold Revocable Trust	9740-51-6290	Yes
Blu House LLC c/o Kevin M. Cox and Lena L. Cox	9649-59-6828	Yes
Eloisa O. Canlas Revocable Trust	9649-59-6937	No
Henry W. and Meghan K Jordan	9740-50-4175	No
Henry W. and Meghan K Jordan	N/A	No
Margot K. Doehring Revocable Trust	9740-51-6078	Yes
Melissa and Justen Shiff	9740-50-6959	No
Stephen M. and Sherry E. David	9740-50-5662	No
The Hip Joint, LLC	9740-50-5540	No
Robert N. and Jan M. Meriwether	9740-50-4275	No
Roert N. and Jan M. Meriwether	9740-50-5317	No
William Ward Griffin and Melanie Griffin	9740-50-6826	Yes

ARTICLE 5 - SPECIAL REQUIREMENTS

5.1 Street Cut Permits and Project Access

NCDOT Roads

Work within NCDOT maintained roadways shall be performed under the NCDOT encroachment permit, which is obtained by the ENGINEER.

City of Asheville Roads

Work performed within City of Asheville streets will require a street-cut permit. It shall be the CONTRACTOR's responsibility to obtain such permits prior to beginning work within said public right of way.

Other Municipalities

Section V: Special Conditions

Work performed in other municipally-owned public roadways may require a street-cut permit. It shall be the CONTRACTOR's responsibility to obtain such permits prior to beginning work within said public right of way.

All costs associated with NCDOT Encroachments, street-cut permits, and their conditions/requirements shall be included within the various bid items, and no extra or separate payment will be made by the DISTRICT to the CONTRACTOR.

This also includes parking-meter closure fees, where there is an additional charge for existing parking meters on a closed public street.

Where the project work area is not within a Public Street or roadway, the CONTRACTOR shall use existing drives and parking lots as may be reasonable and necessary; however, he shall keep such usage to the minimum required and in accordance to the terms and conditions of the DISTRICT's Right of Way Policy and the recorded Easement Agreement between the DISTRICT and the Property Owner(s).

The CONTRACTOR shall maintain reasonable access to all properties and drives during construction. Any trench excavations within drive or parking lot that is used for direct access to such property shall be backfilled and provided with an all-weather surface at the end of each day's work. Where the Property Owner SPDS specifies conditions different from the above, the SPDS shall take precedent.

5.2 Maintenance of Traffic

Access to homes and businesses shall be maintained at all times to the properties along and abutting streets disturbed by construction, unless otherwise approved by the ENGINEER. On streets disturbed by construction, a minimum of one lane (with flagmen) shall be maintained at all times and further provided that adequate signing and control is provided as required by the AASHTO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS and NCDOT Guidelines.

All lane closures and traffic measures shall be coordinated with and meet the minimum requirements of each municipality. Flagmen shall be provided on each end of the closed section or at intermediate points where the closed section is in excess of 250' or where the line of sight is impaired.

5.3 Sewer Service Line Connections

Sewer service connections to the existing lines shall be re-connected to the new lines in accordance to the NC Plumbing Codes. Payment for sewer service cleanouts shall be paid on a per unit installed basis at the bid unit price. Where more than 5 feet of 4" or 6" PVC or DIP service line is required to reconnect the existing service to the new sewer mains and/or manholes, the CONTRACTOR shall be compensated for

Section V: Special Conditions

the appropriate linear footage of 4" or 6" pipe installed at the bid unit price for the appropriate size pipe. The first 5 feet of sewer service lateral beyond the point of reconnection, shall be considered as incidental to the project work scope and shall not be included in above calculations of 4" or 6" PVC or DIP service line installed.

5.4 **Non-Discharge Permit**

Permit pending. Will be provided before pre-construction meeting.

SPECIAL PROVISIONS DETAIL SHEET

February 5, 2025

Project: Kimberly Ave @ Sedley Ave
MSD of Buncombe County Project #2018029

Agent: Darrell R. Hess

Parcel Number: 9740-51-6290

Owner: Angela Baechtold Revocable Trust

Email: AngieGrowsFlowers@gmail.com

Address: 372 Kimberly Ave, Asheville NC 28804

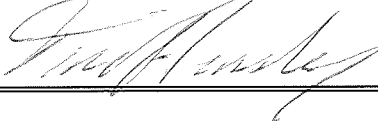
Engineer Approval:  3/10/25

1. The MSD Inspector shall contact the property owner at the email listed above at least one week prior to any work being performed on the property (excepting emergencies) to give owner notice of when work will begin.
2. Any landscaping shrubs that are removed due to construction shall be transplanted or replaced by MSD's contractor. MSD contractor shall replace, one for one, all shrubs (excepting dead shrubs) that are removed from the Permanent Easement. Replacement shrubs of approximately 1-3 gallon in size are to be the same species and of substantially similar quality and obtained from a local nursery. Replacement shrubs are to be planted by MSD's contractor in their same locations. All replacement shrubs shall be covered by a one-year warranty from date of installation provided the owner regularly waters and maintains the shrubs provided. The one-year warranty shall not apply if the owner does not provide regular watering and maintenance.
3. MSD Contractor shall restore any fencing (painted wooden picket) that is removed or damaged due to sewer line construction with the same type and quality materials as the existing fence (painted wooden picket). Owner understands contractor may re-install the existing fence material as long as it has not been damaged. Fencing shall be re-installed in the same proximity as existed prior to construction.

SPECIAL PROVISIONS DETAIL SHEET

February 12, 2025

Project:	Kimberly Ave @ Sedley Ave MSD of Buncombe County Project #2018029
Agent:	Darrell R. Hess
Parcel Number:	9649-59-6828
Owner:	Blu House LLC c/o Kevin M. Cox and Lena L. Cox
Phone:	(919) 961-0201
Address:	275 Kimberly Ave, Asheville NC 28804

Engineer Approval: 

1. The MSD Inspector shall contact the property owner at the email listed above at least one week prior to any work being performed on the property (excepting emergencies) to give owner notice of when work will begin.
2. Any landscaping shrubs that are removed due to construction shall be transplanted or replaced by MSD's contractor. MSD contractor shall replace, one for one, all shrubs (excepting dead shrubs) that are removed from the Permanent Easement. Replacement shrubs of approximately 1-3 gallon in size are to be the same species and of substantially similar quality and obtained from a local nursery. Replacement shrubs are to be planted by MSD's contractor in their same locations. All replacement shrubs shall be covered by a one-year warranty from date of installation provided the owner regularly waters and maintains the shrubs provided. The one-year warranty shall not apply if the owner does not provide regular watering and maintenance. Please refer to the attached easement plat detailing the quantity and locations where the shrubs will be replaced after construction.
3. Contractor shall replace, one for one, any Hemlock trees eight inches (8") or larger in diameter (excepting scrub trees and dead trees) that are removed from the permanent easement. Replacement trees are to be like species obtained from a local nursery and a minimum of six feet (6') in height (excepting specialty trees which minimum heights shall be species specific). Replacement trees are to be planted by the contractor in mutually agreeable areas outside the limits of the permanent easement that are reasonably accessible to contractor. All replacement trees shall be covered by a one-year warranty from date of installation provided the property owner regularly waters and maintains the trees provided. The one-year warranty shall not apply if owner does not provide regular watering and maintenance. MSD inspector shall contact owner as to replacement tree locations.

SPECIAL PROVISIONS DETAIL SHEET

February 11, 2025

Project: Kimberly Ave @ Sedley Ave
MSD of Buncombe County Project #2018029

Agent: Darrell R. Hess

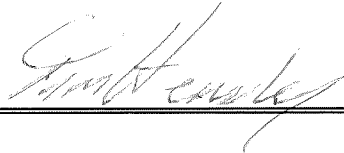
Parcel Number: 9740-51-6078

Owner: Margot K. Doebling Revocable Trust

Email: Karin.S.Gates@gmail.com

Address: 354 Kimberly Ave, Asheville NC 28804


Engineer Approval:



-
1. The MSD Inspector shall contact the property owner at the email listed above at least one week prior to any work being performed on the property (excepting emergencies) to give owner notice of when work will begin.
 2. MSD Contractor agrees that in the event of any damage due to sewer line construction to the asphalt driveway the MSD Contractor shall repair and repave any disturbed areas. Additionally, it is understood that this provision applies to any area of the driveway that may be disturbed during the sewer line installation, repair, or maintenance now or in the future. MSD Contractor shall restore any portion of the driveway or paved road disturbed by the work to a condition that matches or exceeds its prior condition, including full repaving where necessary in a good and workmanlike manner.
 3. Any landscaping shrubs that are removed due to construction shall be transplanted or replaced by MSD's contractor. MSD contractor shall replace, one for one, all shrubs (excepting dead shrubs) that are removed from the Permanent Easement. Replacement shrubs of approximately 1-3 gallon in size are to be the same species and of substantially similar quality and obtained from a local nursery. Replacement shrubs are to be planted by MSD's contractor in their same locations. All replacement shrubs shall be covered by a one-year warranty from date of installation provided the owner regularly waters and maintains the shrubs provided. The one-year warranty shall not apply if the owner does not provide regular watering and maintenance. Please refer to the attached easement plat detailing the quantity and locations where the shrubs will be replaced after construction.

SPECIAL PROVISIONS DETAIL SHEET

March 14, 2025

Project:	Kimberly Ave @ Sedley Ave MSD of Buncombe County Project #2018029
Agent:	Darrell R. Hess
Parcel Number:	9740-50-6826
Owner:	William Ward Griffin and Melanie Griffin
Email:	ward@gracewnc.com
Address:	310 Kimberly Ave, Asheville NC 28804
Engineer Approval:	 3/17/25

1. The MSD Inspector shall contact the property owner at the email listed above at least one week prior to any work being performed on the property (excepting emergencies) to give owner notice of when work will begin.
2. MSD Contractor shall restore any fencing (painted wooden picket) that is removed or damaged due to sewer line construction with the same type and quality materials as the existing fence (painted wooden picket). Owner understands contractor may re-install the existing fence material as long as it has not been damaged. Fencing shall be re-installed in the same proximity as existed prior to construction in a good workmanlike manner.

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____

DATE _____

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER
MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK
5849, PAGE 1921); THAT THE BOUNDARIES NOT SURVEYED ARE
CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN
DEED BOOK 5849, PAGE 1921; THAT THE RATIO OF PRECISION AS
CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN
ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL
SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF
JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING
CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(1)(d): THAT THE SURVEY
IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF
EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
EXCEPTION TO THE DEFINITION OF SUBDIVISION.

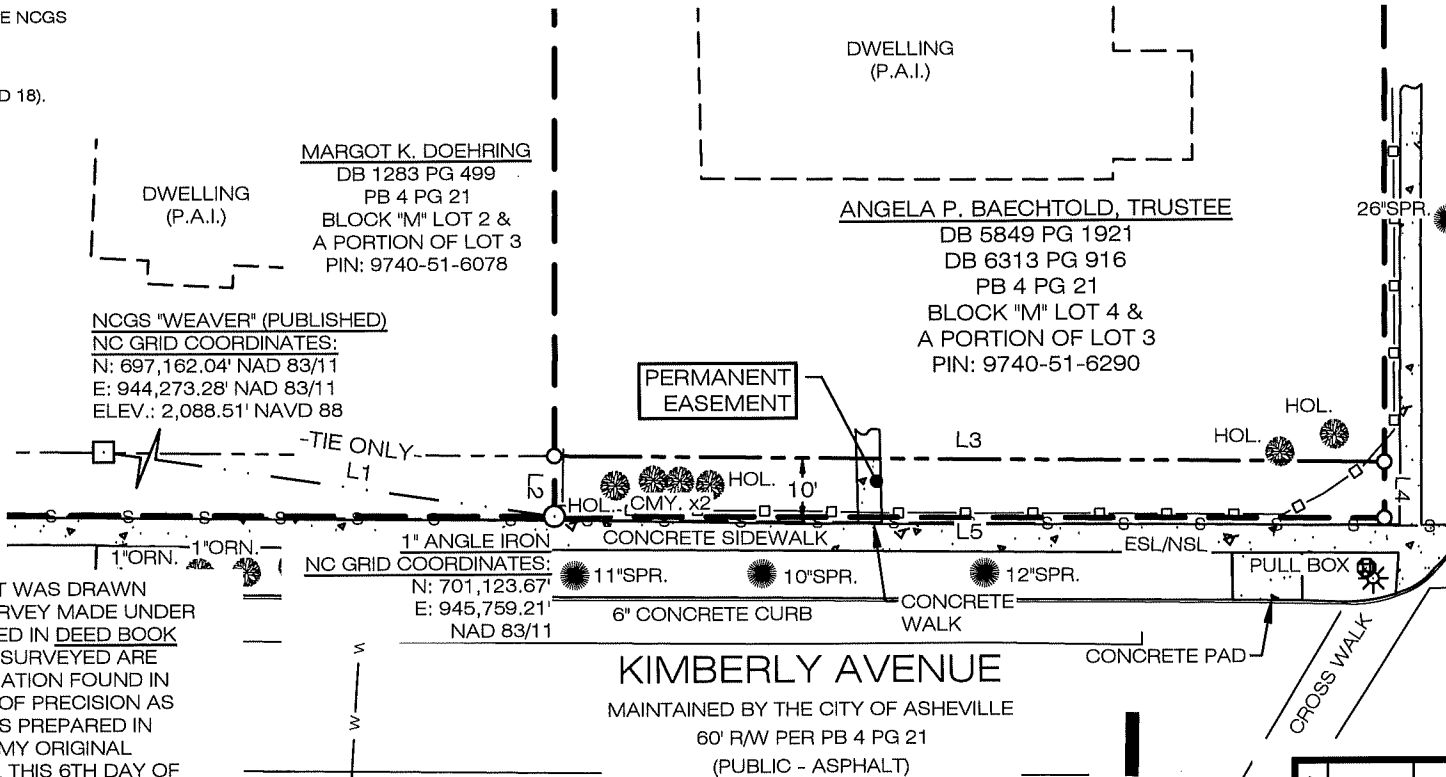

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052

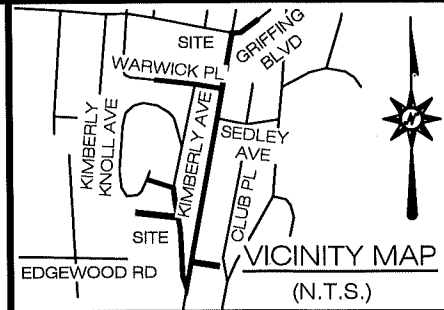
AREA TABLE

PERMANENT EASEMENT: 0.027 ACRES 1,189.3 SQ. FT.
TOTAL EASEMENT AREA: 0.027 ACRES 1,189.3 SQ. FT.



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING ANGLE IRON
- ✱ LIGHT POLE
- ⊞ PULL BOX
- ⊞ WATER METER (WM)
- DECIDUOUS TREE (TYPE AS NOTED)
- CONIFEROUS TREE (TYPE AS NOTED)
- ESL - EXISTING SEWER LINE
- SPR - SPRUCE TREE
- ORN - ORNAMENTAL TREE
- HOL - HOLLY TREE
- CMY - CRAPE MYRTLE TREE
- S — S — NEW SEWERLINE (NSL)
- — — — — BOUNDARY LINE
- — — — — NEW PERM. EASEMENT LINE
- — — — — TIE LINE ONLY
- □ — □ — BOARD FENCELINE
- W — W — WATER LINE (MARKED)



LINE	BEARING	DISTANCE
L1	S 20°33'36" W	4231.13'
L2	N 77°25'34" W	9.46'
L3	N 12°51'05" E	129.97'
L4	S 77°25'34" E	8.84'
L5	S 12°34'26" W	129.97'



REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
ANGELA P. BAECHTOLD, TRUSTEE

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24
CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

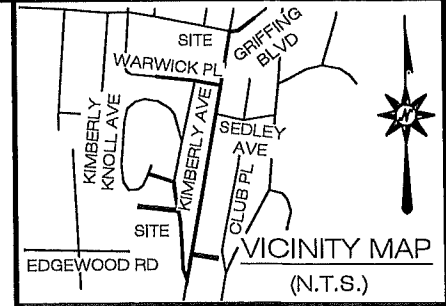
STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR
RECORDING.

REVIEW OFFICER _____

DATE _____

NC GRID NORTH
NAD 83 (NSRS 2011)



STATE OF NORTH CAROLINA

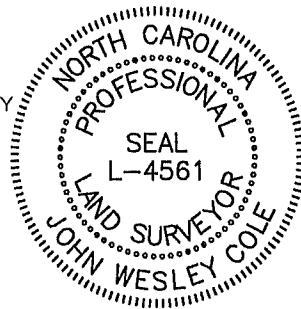
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 6257, PAGE 619 & DEED BOOK 829, PAGE 630); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 6257, PAGE 619 & DEED BOOK 829, PAGE 630; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 23RD DAY OF OCTOBER, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(1)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561



COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052

LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON PIPE (EIP)
- ⊙ EXISTING IRON REBAR (EIR)
- ⊗ EX. CLEAN OUT
- ⊕ NEW SEWER MANHOLE (NMH)
- ⊕ DECIDUOUS TREE (TYPE AS NOTED)
- ⊕ CONIFEROUS TREE (TYPE AS NOTED)
- ⊕ SHRUB
- ⊕ GAS METER (GM)
- ⊕ ELECTRIC METER (EM)
- ⊕ WATER VALVE
- ⊕ WATER METER (WM)
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- S — S — NEW SEWERLINE
- SS — EX. SANITARY SEWER
- — — BOUNDARY LINE
- - - - NEW PERM. EASEMENT LINE
- . . — TIE LINE ONLY
- OHU — OVER HEAD UTILITY LINE
- W — W — UNDERGROUND WATERLINE
- GAS — UNDERGROUND GASLINE
- FORMER 30' ALLEY LINE
- - - - - FEMA FLOODLINE

MAP SET
SHEET 1 OF 2

THIS SHEET IS PART OF A MAP SET AND IS INTENDED TO ACCOMPANY ALL OTHER SHEETS IN THIS SET AND IS TO BE CONSIDERED INCOMPLETE WITHOUT ALL OTHER SHEETS TO SUPPORT IT.

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
BLU HOUSE, LLC

SCALE: 1"=30' PROJECT #: 22-169 DATE: 10/23/24

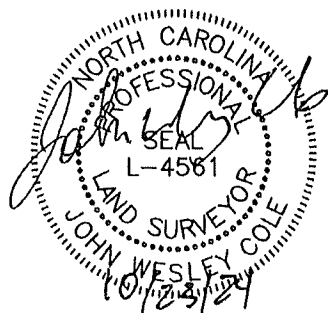
CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC



NC GRID NORTH
NAD 83 (NSRS 2011)

LINE	BEARING	DISTANCE
L1	N 12°51'06" E	8.62'
L2	S 77°32'05" E	163.34'
L3	S 10°52'48" W	10.98'
L4	N 76°42'41" W	163.72'
L5	S 24°45'50" W	3,048.48'
L6	S 12°51'06" W	81.14'
L7	S 10°52'48" W	4.60'

AMANDA ASHBROOK DODSON
DB 6099 PG 250
PB 16 PG 39
BLOCK "F" LOT 16
PIN: 9649-59-6709



AREA TABLE

PERMANENT EASEMENT: 0.037 ACRES 1,602.4 SQ. FT.

TOTAL EASEMENT AREA: 0.037 ACRES 1,602.4 SQ. FT.

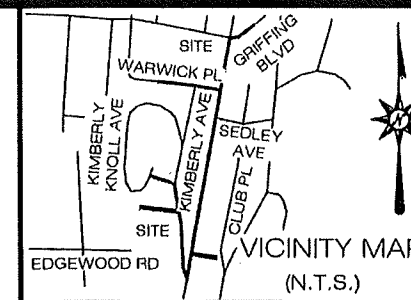
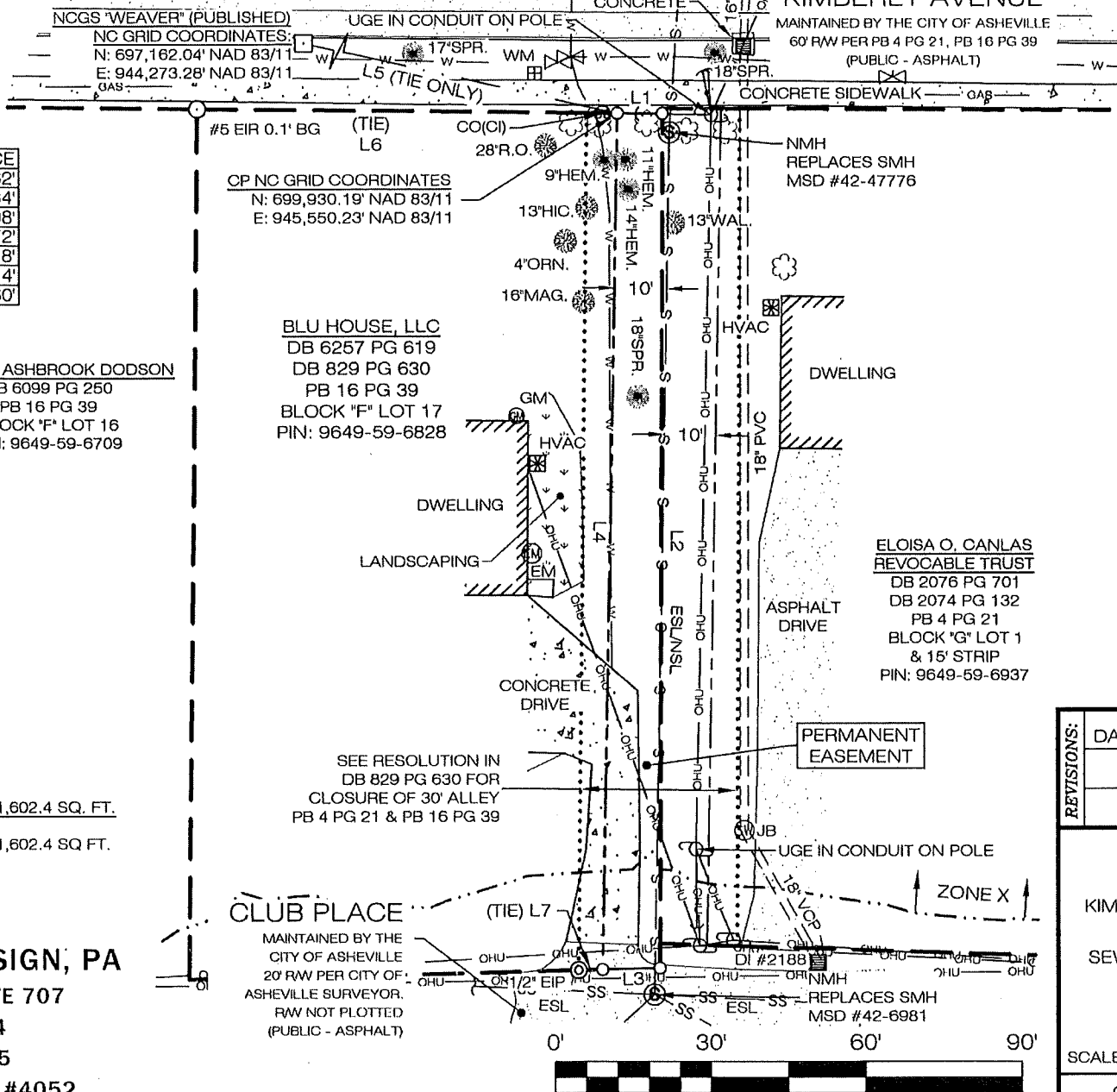
COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052



MAP SET
SHEET 2 OF 2

THIS SHEET IS PART OF A MAP
SET AND IS INTENDED TO
ACCOMPANY ALL OTHER
SHEETS IN THIS SET AND IS TO
BE CONSIDERED INCOMPLETE
WITHOUT ALL OTHER SHEETS
TO SUPPORT IT.

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:

BLU HOUSE, LLC

SCALE: 1"=30' PROJECT #: 22-169 DATE: 10/23/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

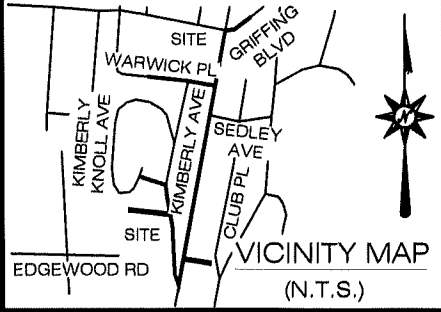
STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR
RECORDING.

REVIEW OFFICER

DATE

NC GRID NORTH
NAD 83 (NSRS 2011)



LEGEND:

- CALCULATED POINT (CP)
- ◻ EXISTING CONCRETE MONUMENT (NCGS)
- ⊙ EXISTING IRON PIPE (EIP)
- ⊙ EXISTING IRON REBAR (EIR)
- ⊙ EX. CLEAN OUT
- ⊙ NEW SEWER MANHOLE (NMH)
- DECIDUOUS TREE (TYPE AS NOTED)
- CONIFEROUS TREE (TYPE AS NOTED)
- ⊙ SHRUB
- ⊙ GAS METER (GM)
- ⊙ ELECTRIC METER (EM)
- ⊙ WATER VALVE
- ⊙ WATER METER (WM)
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- S — S — NEW SEWER LINE
- SS — EX. SANITARY SEWER
- — — BOUNDARY LINE
- - - - NEW PERM. EASEMENT LINE
- · · — TIE LINE ONLY
- OHU — OVER HEAD UTILITY LINE
- W — W — UNDERGROUND WATERLINE
- GAS — UNDERGROUND GAS LINE
- FORMER 30' ALLEY LINE
- · · — · · — FEMA FLOOD LINE

MAP SET
SHEET 1 OF 2


THIS SHEET IS PART OF A MAP
SET AND IS INTENDED TO
ACCOMPANY ALL OTHER
SHEETS IN THIS SET AND IS TO
BE CONSIDERED INCOMPLETE
WITHOUT ALL OTHER SHEETS
TO SUPPORT IT.

STATE OF NORTH CAROLINA

COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER
MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK
2076, PAGE 701, DEED BOOK 2074, PAGE 132, AND DEED BOOK 829,
PAGE 630); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY
INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK
2076, PAGE 701, DEED BOOK 2074, PAGE 132, AND DEED BOOK 829,
PAGE 630; THAT THE RATIO OF PRECISION AS CALCULATED IS
1:10,000±; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH
G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION
NUMBER AND SEAL THIS 11TH DAY OF DECEMBER, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING
CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(d): THAT THE SURVEY
IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF
EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
EXCEPTION TO THE DEFINITION OF SUBDIVISION.


JOHN WESLEY COLE, P.L.S. L-4561



COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052

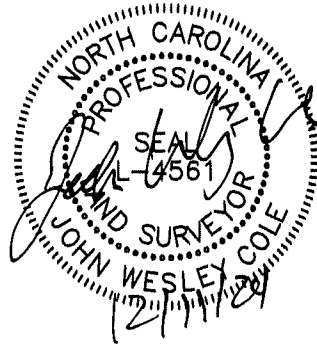


REVISIONS:	DATE	REVISIONS MADE	BY:
	12/11/24	OWNER INFO CORRECTIONS	ADB
METROPOLITAN SEWERAGE DISTRICT OF BUNCOMBE COUNTY, NC KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB MSD PROJECT #2018029 SEWER LINE EASEMENT ACROSS THE PROPERTY OF: ELOISA O. CANLAS REVOCABLE TRUST			
SCALE: 1"=30' PROJECT #: 22-169 DATE: 10/23/24 CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC			

NC GRID NORTH
NAD 83 (NSRS 2011)

LINE	BEARING	DISTANCE
L1	N 12°27'55" E	11.39'
L2	S 76°42'41" E	159.83'
L3	S 13°59'55" W	9.10'
L4	N 77°32'05" W	159.57'
L5	S 24°42'50" W	3,056.73'
L6	N 12°27'55" E	3.61'

AMANDA ASHBROOK DODSON
DB 6099 PG 250
PB 16 PG 39
BLOCK "F" LOT 16
PIN: 9649-59-6709



AREA TABLE

PERMANENT EASEMENT: 0.038 ACRES 1,635.7 SQ. FT.

TOTAL EASEMENT AREA: 0.038 ACRES 1,635.7 SQ FT.

COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052

NOGS "WEAVER" (PUBLISHED)
NC GRID COORDINATES:
N: 697,162.04' NAD 83/11
E: 944,273.28' NAD 83/11

CP NC GRID COORDINATES
N: 699,938.80' NAD 83/11
E: 945,551.27' NAD 83/11

BLU HOUSE, LLC
DB 6257 PG 619
PB 16 PG 39
BLOCK "F" LOT 17
PIN: 9649-59-6828

SEE RESOLUTION IN
DB 829 PG 630 FOR
CLOSURE OF 30' ALLEY
PB 4 PG 21 & PB 16 PG 39

CLUB PLACE

MAINTAINED BY THE
CITY OF ASHEVILLE
20' R/W PER CITY OF
ASHEVILLE SURVEYOR.
R/W NOT PLOTTED
(PUBLIC - ASPHALT)

CONCRETE

KIMBERLY AVENUE

MAINTAINED BY THE CITY OF ASHEVILLE
60' R/W PER PB 4 PG 21, PB 16 PG 39
(PUBLIC - ASPHALT)

CONCRETE SIDEWALK - GAS

3/4" EIP
S.W. COR. LOT 1,
BLK. G, PB 4 PG 21

NMH
REPLACES SMH
MSD #42-47776

DWELLING

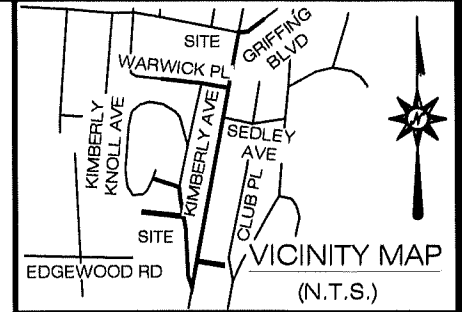
ELOISA O. CANLAS
REVOCABLE TRUST
DB 2076 PG 701
DB 2074 PG 132
DB 829 PG 630
PB 4 PG 21
BLOCK "G" LOT 1
& 15' STRIP
PIN: 9649-59-6937

ASPHALT
DRIVE

PERMANENT
EASEMENT

UGE IN CONDUIT ON POLE

REPLACES SMH
MSD #42-6981



MAP SET
SHEET 2 OF 2

THIS SHEET IS PART OF A MAP
SET AND IS INTENDED TO
ACCOMPANY ALL OTHER
SHEETS IN THIS SET AND IS TO
BE CONSIDERED INCOMPLETE
WITHOUT ALL OTHER SHEETS
TO SUPPORT IT.

REVISIONS:	DATE	REVISIONS MADE	BY:
	12/11/24	OWNER INFO CORRECTIONS	ADB

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
**ELOISA O. CANLAS
REVOCABLE TRUST**

SCALE: 1"=30'

PROJECT #: 22-169

DATE: 10/23/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER
MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK
4874, PAGE 563); THAT THE BOUNDARIES NOT SURVEYED ARE
CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN
DEED BOOK 4874, PAGE 563; THAT THE RATIO OF PRECISION AS
CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN
ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL
SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF
JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING
CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(d): THAT THE SURVEY
IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF
EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.022 ACRES 951.5 SQ. FT.

TOTAL EASEMENT AREA: 0.022 ACRES 951.5 SQ FT.

STEPHEN M. & SHERRY E. DAVID
DB 2347 PG 870
PB 4 PG 21 BLOCK "K"
LOTS 7, 8 &
A PORTION OF LOT 9
PB 103 PG 33
PIN: 9740-50-5662

NCGS "WEAVER" (PUBLISHED)
NC GRID COORDINATES:
N: 697,162.04' NAD 83/11
E: 944,273.28' NAD 83/11
ELEV.: 2,088.51' NAVD 88

CP NC GRID COORDINATES
N: 700,697.72'
E: 945,653.70'
NAD 83/11

AMY ELIZABETH COHEN
DB 4874 PG 563
PB 4 PG 21 BLOCK "K"
PORTIONS OF LOT 9 & LOT 10
PIN: 9740-50-6706

WILLIAM W. & MELANIE C. GRIFFIN
DB 5401 PG 1846
PB 4 PG 21 BLOCK "K"
LOT 11 & A PORTION OF LOT 10
PIN: 9740-50-6826

NC GRID NORTH
NAD 83 (NSRS 2011)

DWELLING
(P.A.I.)

NMH-
REPLACES SMH
MSD #42-6829
12" STONE WALL

TEI ONLY
L1

HIGH COUNTRY

BIKE LANE

KIMBERLY AVENUE

MAINTAINED BY THE CITY OF ASHEVILLE
60' R/W PER PB 4 PG 21
(PUBLIC - ASPHALT)

PERMANENT
EASEMENT

L2

L3

PULL BOX

CONCRETE
STEPS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

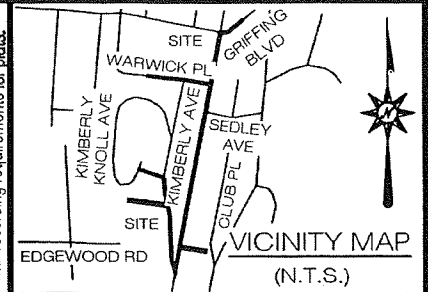
GAS

GAS

This map may not be a certified survey and has
not been reviewed by a local government agency
for compliance with any applicable land
development regulations and has not been reviewed
for compliance with recording requirements for plats.

LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON PIPE (EIP)
- ⊙ NEW SEWER MANHOLE (NMH)
- ⊕ PULL BOX
- ✱ LIGHT POLE
- CONIFEROUS TREE (TYPE AS NOTED)
- SMH - EXISTING SEWER MANHOLE
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- SPR - SPRUCE TREE
- S — S — NEW SEWERLINE
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- — — TIE LINE ONLY
- GAS — GAS LINE (MARKED)
- — □ — BOARD FENCELINE



REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
AMY ELIZABETH COHEN

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

LINE	BEARING	DISTANCE
L1	S 21°19'36" W	3795.60'
L2	N 12°31'16" E	105.01'
L3	S 76°58'31" E	9.52'
L4	S 13°01'29" W	104.98'
L5	N 77°11'31" W	8.60'



NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER
MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK
2347, PAGE 870); THAT THE BOUNDARIES NOT SURVEYED ARE
CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN
DEED BOOK 2347, PAGE 870; THAT THE RATIO OF PRECISION AS
CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN
ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL
SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF
JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING
CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(d): THAT THE SURVEY
IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF
EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.034 ACRES 1,485.4 SQ. FT.

TOTAL EASEMENT AREA: 0.034 ACRES 1,485.4 SQ. FT.

NC GRID NORTH
NAD 83 (NSRS 2011)

STEPHEN M. & SHERRY E. DAVID

DB 2347 PG 870

PB 4 PG 21 BLOCK "K"

LOTS 7, 8 &

A PORTION OF LOT 9

PB 103 PG 33

PIN: 9740-50-5662

THE HIP JOINT, LLC

DB 6251 PG 643

PB 4 PG 21 BLOCK "K"

LOT 5

PIN: 9740-50-5540

NCGS "WEAVER" (PUBLISHED)

NC GRID COORDINATES:

N: 697,162.04' NAD 83/11

E: 944,273.28' NAD 83/11

ELEV.: 2,088.51' NAVD 88

CP NC GRID COORDINATES:

N: 700,527.27'

E: 945,614.94'

NAD 83/11

-TIE ONLY-
L1

PERMANENT
EASEMENT

AMY ELIZABETH COHEN
DB 4874 PG 563
PB 4 PG 21 BLOCK "K"
PORTIONS OF LOT 9 & LOT 10
PIN: 9740-50-6706

LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON PIPE (EIP)
- ⊙ NEW SEWER MANHOLE (NMH)
- ORNAMENTAL TREE
- CONIFEROUS TREE
- ⊙ LIGHT POST
- SMH - EXISTING SEWER MANHOLE
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- CHR - CHERRY TREE
- HEM - HEMLOCK TREE
- SPR - SPRUCE TREE
- S — S — NEW SEWERLINE
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- — — TIE LINE ONLY
- GAS — GAS LINE (MARKED)
- — ○ — CHAIN LINK FENCELINE

KIMBERLY AVENUE

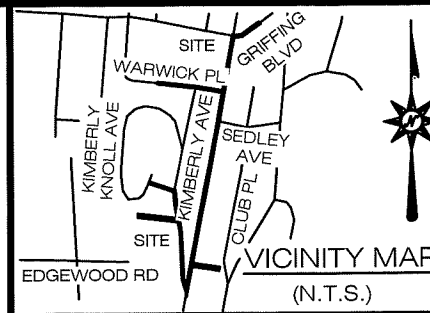
MAINTAINED BY THE CITY OF ASHEVILLE

60' R/W PER PB 4 PG 21

(PUBLIC - ASPHALT)

LINE	BEARING	DISTANCE
L1	S 21°44'10" W	3622.82'
L2	N 12°54'00" E	132.96'
L3	N 12°31'16" E	41.85'
L4	S 77°11'31" E	8.60'
L5	S 12°48'30" W	174.83'
L6	N 76°59'43" W	8.60'

0' 30' 60' 90'



REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029

SEWER LINE EASEMENT ACROSS THE PROPERTY OF:

STEPHEN M. & SHERRY E. DAVID

SCALE: 1"=30'

PROJECT #: 22-169

DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 1283, PAGE 499); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 1283, PAGE 499; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.025 ACRES 1,070.2 SQ. FT.

TOTAL EASEMENT AREA: 0.025 ACRES 1,070.2 SQ. FT.

MELISSA & JUSTEN SHIFF
DB 6003 PG 465
PB 4 PG 21
BLOCK "M" LOT 1
PIN: 9740-50-6959

DWELLING
(P.A.I.)

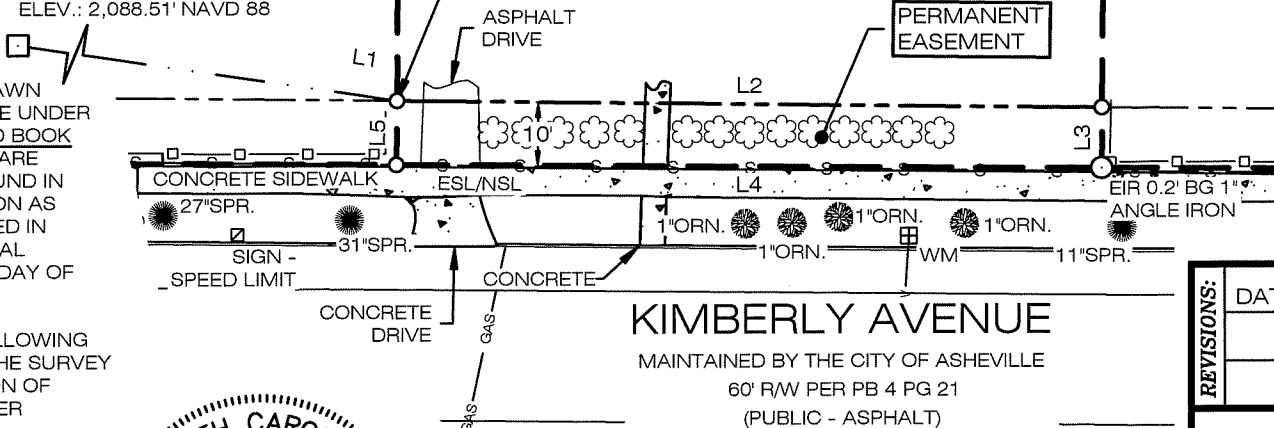
MARGOT K. DOEHRING
DB 1283 PG 499
PB 4 PG 21
BLOCK "M" LOT 2 &
A PORTION OF LOT 3
PIN: 9740-51-6078

DWELLING
(P.A.I.)

ANGELA P. BAECHTOLD
DB 5849 PG 1921
PB 4 PG 21
BLOCK "M" LOT 4 &
A PORTION OF LOT 3
PIN: 9740-51-6290

NCGS "WEAVER" (PUBLISHED)
NC GRID COORDINATES:
N: 697,162.04' NAD 83/11
E: 944,273.28' NAD 83/11
ELEV.: 2,088.51' NAVD 88

CP NC GRID COORDINATES:
N: 701,018.51'
E: 945,725.51'
NAD 83/11



KIMBERLY AVENUE

MAINTAINED BY THE CITY OF ASHEVILLE

60' R/W PER PB 4 PG 21

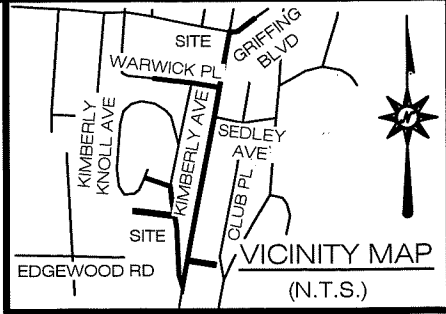
(PUBLIC - ASPHALT)

LINE	BEARING	DISTANCE
L1	S 20°38'05" W	4120.84'
L2	N 12°51'05" E	109.98'
L3	S 77°25'34" E	9.46'
L4	S 12°34'26" W	109.98'
L5	N 77°25'34" W	10.00'

0' 30' 60' 90'



NC GRID NORTH
NAD 83 (NSRS 2011)



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- ☒ SGN
- ⊞ WATER METER (WM)
- DECIDUOUS TREE (TYPE AS NOTED)
- CONIFEROUS TREE (TYPE AS NOTED)
- ✪ SHRUB
- ESL - EXISTING SEWER LINE
- ORN...ORNAMENTAL TREE
- SPR...SPRUCE TREE
- S — S — NEW SEWERLINE (NSL)
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- — — TIE LINE ONLY
- □ — □ — BOARD FENCELINE
- GAS — WATER LINE (MARKED)
- W — W — GAS LINE (MARKED)

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029

SEWER LINE EASEMENT ACROSS THE PROPERTY OF:

MARGOT K. DOEHRING

SCALE: 1"=30'

PROJECT #: 22-169

DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA

COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 5401, PAGE 1846); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 5401, PAGE 1846; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S. L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.024 ACRES 1,045.4 SQ. FT.

TOTAL EASEMENT AREA: 0.024 ACRES 1,045.4 SQ FT.

DWELLING
(P.A.I.)

AMY ELIZABETH COHEN
DB 4874 PG 563
PB 4 PG 21 BLOCK "K"
PORTIONS OF LOT 9 & LOT 10
PIN: 9740-50-6706

NCGS "WEAVER" (PUBLISHED)
NC GRID COORDINATES:
N: 697,162.04' NAD 83/11
E: 944,273.28' NAD 83/11
ELEV.: 2,088.51' NAVD 88

CP NC GRID
COORDINATES:
N: 700,800.24'
E: 945,676.46'
NAD 83/11

PERMANENT
EASEMENT

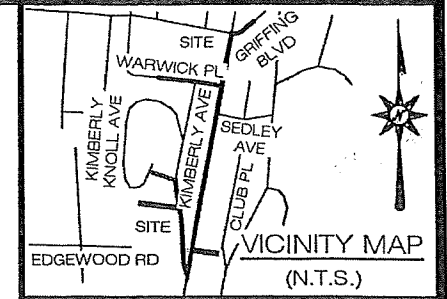
WILLIAM W. & MELANIE C. GRIFFIN
DB 5401 PG 1846
PB 4 PG 21 BLOCK "K"
LOT 11 & A PORTION OF LOT 10
PIN: 9740-50-6826

KIMBERLY AVENUE

MAINTAINED BY THE CITY OF ASHEVILLE
60' R/W PER PB 4 PG 21
(PUBLIC - ASPHALT)

BIKE LANE

NC GRID NORTH
NAD 83 (NSRS 2011)



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- SIGN
- ⊙ NEW SEWER MANHOLE (NMH)
- ⊞ WATER METER (WM)
- ✖ LIGHT POLE
- ⊕ PULL BOX
- CONIFEROUS TREE (TYPE AS NOTED)
- SMH - EXISTING SEWER MANHOLE
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- SPR - SPRUCE TREE
- S — S — NEW SEWERLINE
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- · — · — TIE LINE ONLY
- W — W — WATER LINE (MARKED)
- GAS — GAS LINE (MARKED)
- □ — □ — BOARD FENCE

LINE	BEARING	DISTANCE
L1	S 21°05'26" W	3899.41'
L2	N 12°31'16" E	104.72'
L3	S 76°58'31" E	10.44'
L4	S 13°01'29" W	104.71'
L5	N 76°58'31" W	9.52'

0' 30' 60' 90'



REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
WILLIAM W. & MELANIE C. GRIFFIN

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.08' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.


REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 4725, PAGE 174); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 4725, PAGE 174; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(1)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.


JOHN WESLEY COLE, F.L.S. L-4561

COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.026 ACRES 1,114.2 SQ. FT.

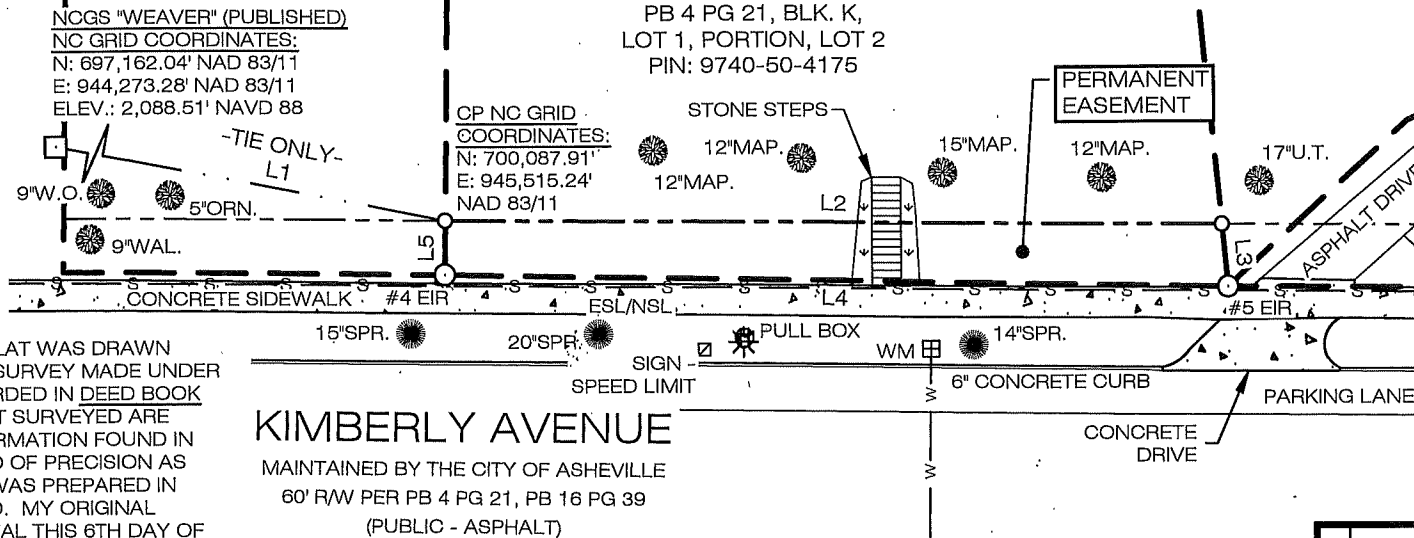
TOTAL EASEMENT AREA: 0.026 ACRES 1,114.2 SQ FT.

HENRY W. & MEGHAN K.
JORDAN
DB 4725 PG 174
PARCEL 3
(QUITCLAIM)
PB 4 PG 21
NO PIN

DWELLING
(P.A.I.)

HENRY W. & MEGHAN K. JORDAN
DB 4725 PG 174
PARCELS 1 & 2
PB 4 PG 21, BLK. K,
LOT 1, PORTION, LOT 2
PIN: 9740-50-4175

ROBERT N. & JAN M.
MERIWETHER
DB 5140 PG 1378
PB 127 PG 197
LOT 2
PIN: 9740-50-4275



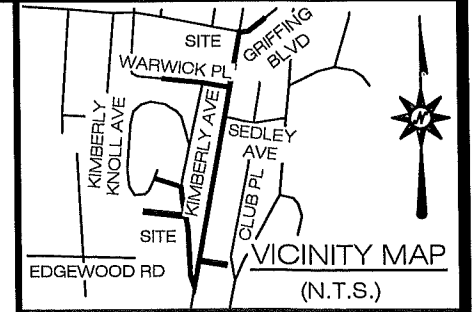
KIMBERLY AVENUE
MAINTAINED BY THE CITY OF ASHEVILLE
60' R/W PER PB 4 PG 21, PB 16 PG 39
(PUBLIC - ASPHALT)



LINE	BEARING	DISTANCE
L1	S 23°00'00" W	3178.54'
L2	N 12°37'02" E	121.70'
L3	S 83°26'37" E	9.80'
L4	S 13°12'24" W	122.79'
L5	N 77°01'00" W	8.49'



NC GRID NORTH
NAD 83 (NSRS 2011)



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- SIGN
- ✱ LIGHT POLE
- ⊕ PULL BOX
- ⊠ WATER METER (WM)
- DECIDUOUS TREE (TYPE AS NOTED)
- CONIFEROUS TREE (TYPE AS NOTED)
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- MAP - MAPLE TREE
- ORN - ORNAMENTAL TREE
- SPR - SPRUCE TREE
- U.T. - UNKNOWN TREE
- WAL - WALNUT TREE
- W.O. - WHITE OAK TREE
- S — S — NEW SEWERLINE
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- — — TIE LINE ONLY
- W — W — WATER LINE (MARKED)

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
HENRY W. & MEGHAN K. JORDAN

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24
CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

AREA TABLE

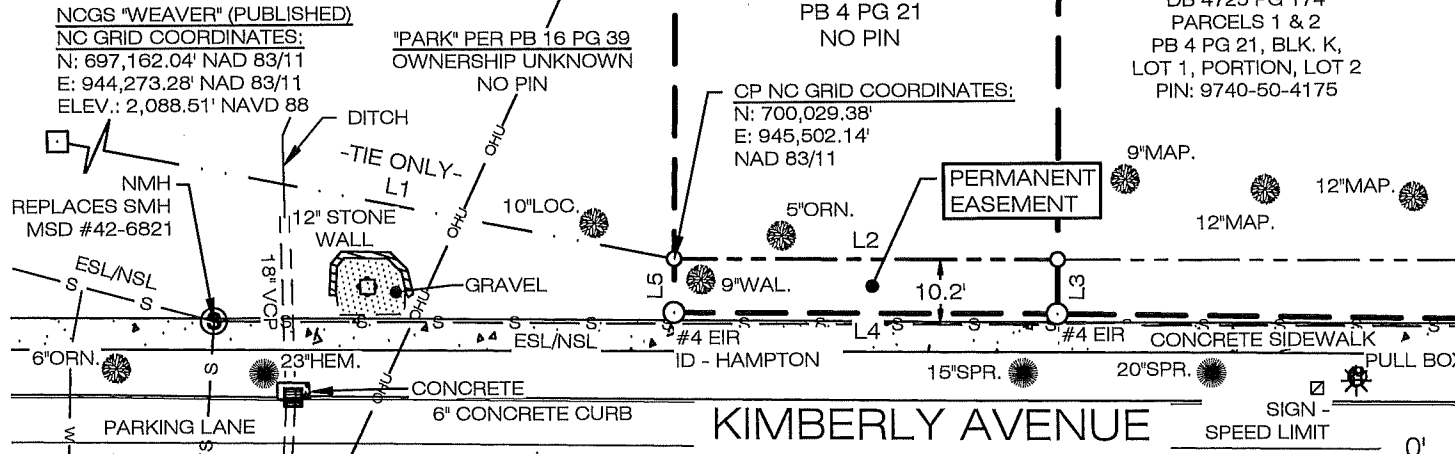
PERMANENT EASEMENT: 0.012 ACRES 505.7 SQ. FT.

TOTAL EASEMENT AREA: 0.012 ACRES 505.7 SQ. FT.

LINE	BEARING	DISTANCE
L1	S 23°11'54" W	3119.57'
L2	N 12°37'02" E	59.97'
L3	S 77°01'00" E	8.49'
L4	S 12°43'03" W	59.97'
L5	N 77°01'33" W	8.38'

LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- ⊙ NEW SEWER MANHOLE (NMH)
- DECIDUOUS TREE (TYPE AS NOTED)
- CONIFEROUS TREE (TYPE AS NOTED)
- ⚡ SIGN
- ⚡ LIGHT POLE
- ⊞ PULL BOX
- ⊞ ELECTRICAL UTILITY BOX
- ⊞ SLAB INLET
- SMH - EXISTING SEWER MANHOLE
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- HEM - HEMLOCK TREE
- LOC - LOCUST TREE
- MAP - MAPLE TREE
- ORN - ORNAMENTAL TREE
- R.O. - RED OAK TREE
- SPR - SPRUCE TREE
- WAL - WALNUT TREE
- S — S — NEW SEWERLINE
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- — — TIE LINE ONLY
- OHU — OVERHEAD UTILITY LINE
- W — W — WATER LINE (MARKED)
- — — STORM PIPE (SIZE & TYPE NOTED)



STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

MAINTAINED BY THE CITY OF ASHEVILLE
60' R/W PER PB 4 PG 21, PB 16 PG 39
(PUBLIC - ASPHALT)

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 4725, PAGE 174); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 4725, PAGE 174; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(1)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

NC GRID NORTH
NAD 83 (NSRS 2011)

DWELLING
(P.A.I.)

HENRY W. & MEGHAN K. JORDAN
DB 4725 PG 174
PARCELS 1 & 2
PB 4 PG 21, BLK. K,
LOT 1, PORTION, LOT 2
PIN: 9740-50-4175

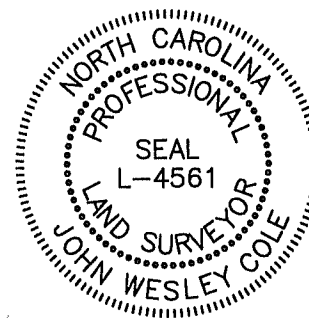
CP NC GRID COORDINATES:
N: 700,029.38'
E: 945,502.14'
NAD 83/11

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE



COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
HENRY W. & MEGHAN K. JORDAN
SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24
CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER
MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK
5140, PAGE 1378); THAT THE BOUNDARIES NOT SURVEYED ARE
CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN
DEED BOOK 5140, PAGE 1378; THAT THE RATIO OF PRECISION AS
CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN
ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL
SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF
JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING
CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(1)(d): THAT THE SURVEY
IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF
EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

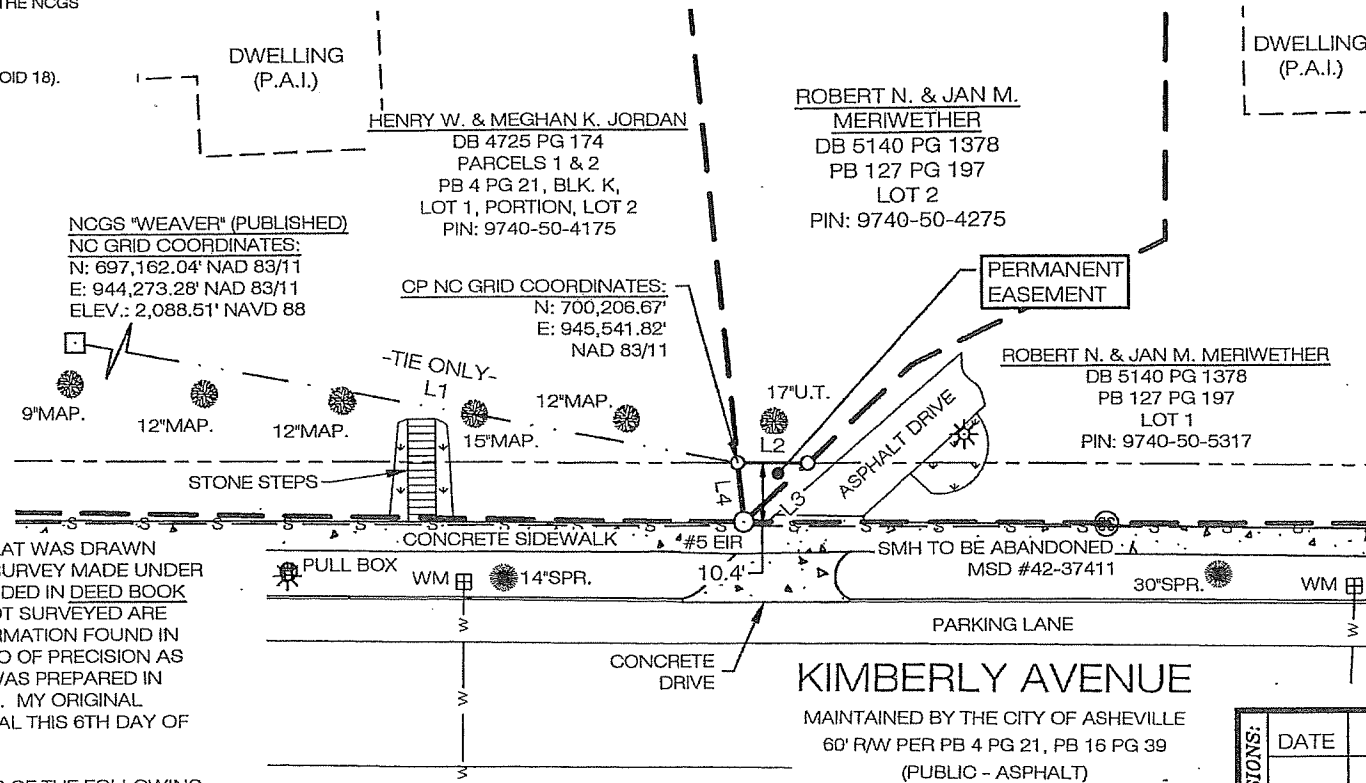
NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.001 ACRES 56.0 SQ. FT.

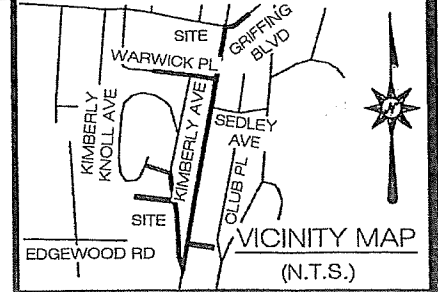
TOTAL EASEMENT AREA: 0.001 ACRES 56.0 SQ. FT.

NC GRID NORTH
NAD 83 (NSRS 2011)



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- SS EX. SEWER MANHOLE (SMH)
- NEW SEWER MANHOLE (NMH)
- ✱ LIGHT POLE
- ⊕ PULL BOX
- DECIDUOUS TREE (TYPE AS NOTED)
- CONIFEROUS TREE (TYPE AS NOTED)
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- MAP - MAPLE TREE
- SPR - SPRUCE TREE
- U.T. - UNKNOWN TREE
- S — S — NEW SEWERLINE.
- — — — — BOUNDARY LINE
- — — — — NEW PERM. EASEMENT LINE
- — — — — TIE LINE ONLY
- w — w — WATER LINE (MARKED)



LINE	BEARING	DISTANCE
L1	S 22°37'08" W	3298.32'
L2	N 12°37'02" E	11.50'
L3	S 30°21'56" E	14.30'
L4	N 83°26'37" W	9.80'



DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
ROBERT N. & JAN M. MERIWETHER

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24
CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____

DATE _____

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 5140, PAGE 1378); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 5140, PAGE 1378; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(1)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

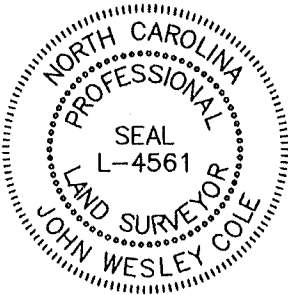

JOHN WESLEY COLE, P.L.S. L-4561
COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.054 ACRES 2,330.7 SQ. FT.
TOTAL EASEMENT AREA: 0.054 ACRES 2,330.7 SQ. FT.

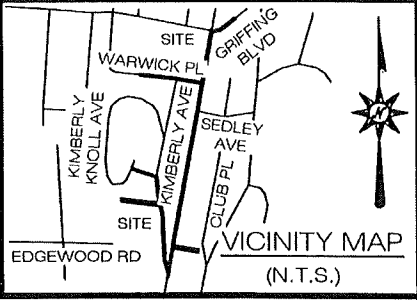
LEGEND:

- CALCULATED POINT (CP)
□ EXISTING CONCRETE MONUMENT (NCGS)
○ EXISTING IRON PIPE (EIP)
⊗ EX. CLEAN OUT
Ⓢ NEW SEWER MANHOLE (NMH)
Ⓢ EXISTING SEWER MANHOLE (SMH)
⊞ WATER METER (WM)
✱ LIGHT POLE
⊕ PULL BOX
● DECIDUOUS TREE (TYPE AS NOTED)
● CONIFEROUS TREE (TYPE AS NOTED)
NSL - NEW SEWER LINE
ESL - EXISTING SEWER LINE
SPR - SPRUCE TREE
MAP - MAPLE TREE
U.T. - UNKNOWN TREE
ORN - ORNAMENTAL TREE
W.P. - WHITE PINE TREE
— S — S — NEW SEWERLINE
— — — BOUNDARY LINE
— - - — NEW PERM. EASEMENT LINE
— · · — TIE LINE ONLY
— W — W — WATER LINE (MARKED)
— GAS — GAS LINE (MARKED)



MAP SET
SHEET 1 OF 2

THIS SHEET IS PART OF A MAP SET AND IS INTENDED TO ACCOMPANY ALL OTHER SHEETS IN THIS SET AND IS TO BE CONSIDERED INCOMPLETE WITHOUT ALL OTHER SHEETS TO SUPPORT IT.



LINE	BEARING	DISTANCE
L1	S 22°35'04" W	3309.64'
L2	N 12°37'02" E	49.83'
L3	N 12°54'00" E	191.47'
L4	S 78°36'42" E	8.94'
L5	S 12°38'52" W	251.95'
L6	N 30°21'56" W	14.30'

REVISIONS:	DATE	REVISIONS MADE	BY:
METROPOLITAN SEWERAGE DISTRICT OF BUNCOMBE COUNTY, NC KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB MSD PROJECT #2018029 SEWER LINE EASEMENT ACROSS THE PROPERTY OF: ROBERT N. & JAN M. MERIWETHER SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24 CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC			

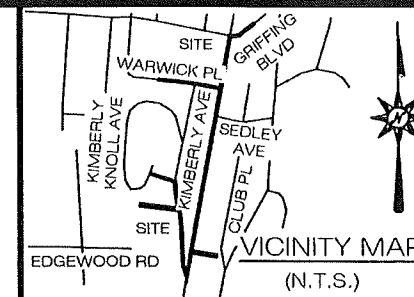
EXHIBIT A

HENRY W. & MEGHAN K. JORDAN
DB 4725 PG 174
PARCELS 1 & 2
LOT 1, PORTION, LOT 2
PB 4 PG 21, BLK. K
PIN: 9740-50-4175

ROBERT N. & JAN M.
MERIWETHER
DB 5140 PG 1378
PB 127 PG 197
LOT 2
PIN: 9740-50-4275

DWELLING
(P.A.I.)

NC GRID NORTH
NAD 83 (NSRS 2011)



THE HIP JOINT, LLC
DB 6251 PG 643
PB 4 PG 21 BLOCK "K"
LOT 5
PIN: 9740-50-5540

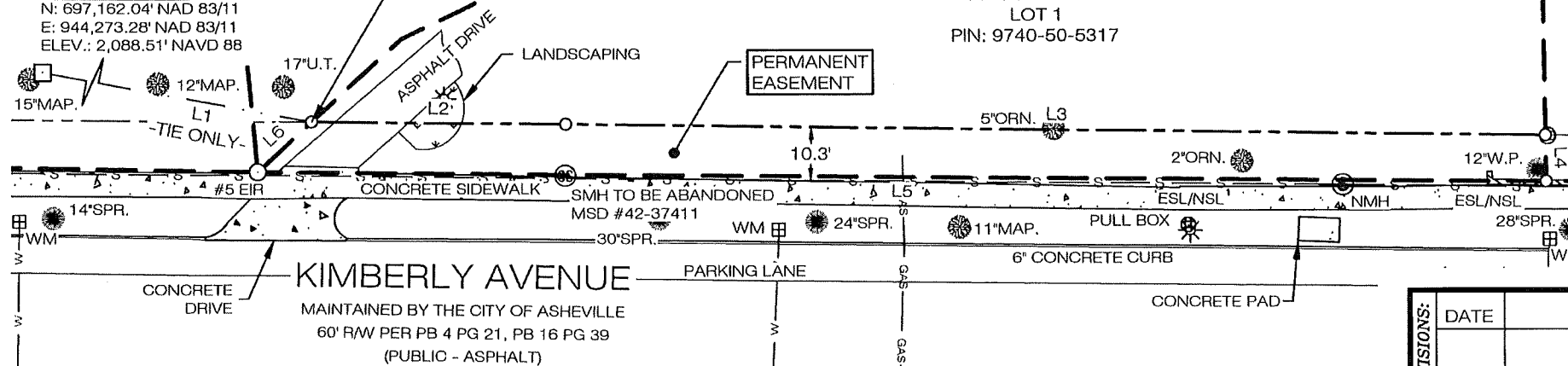
MAP SET
SHEET 2 OF 2

THIS SHEET IS PART OF A MAP
SET AND IS INTENDED TO
ACCOMPANY ALL OTHER
SHEETS IN THIS SET AND IS TO
BE CONSIDERED INCOMPLETE
WITHOUT ALL OTHER SHEETS
TO SUPPORT IT.

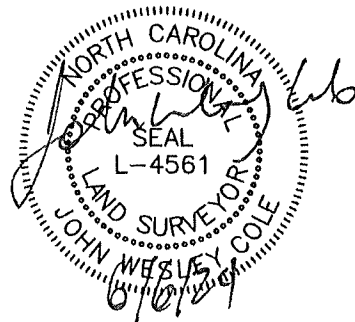
NCGS "WEAVER" (PUBLISHED)
NC GRID COORDINATES:
N: 697,162.04' NAD 83/11
E: 944,273.28' NAD 83/11
ELEV.: 2,088.51' NAVD 88

CP NC GRID COORDINATES:
N: 700,217.88'
E: 945,544.33'
NAD 83/11

ROBERT N. & JAN M. MERIWETHER
DB 5140 PG 1378
PB 127 PG 197
LOT 1
PIN: 9740-50-5317



COLE SURVEYING & DESIGN, PA
549 ELK PARK DRIVE, SUITE 707
ASHEVILLE, NC 28804
PHONE: 828-251-7025
NC FIRM #C-3106 | SC COA #4052



REVISIONS:	DATE	REVISIONS MADE	BY

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029
SEWER LINE EASEMENT ACROSS THE PROPERTY OF:
ROBERT N. & JAN M. MERIWETHER

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

STATE OF NORTH CAROLINA

COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN
UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER
MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK
6003, PAGE 465); THAT THE BOUNDARIES NOT SURVEYED ARE
CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN
DEED BOOK 6003, PAGE 465; THAT THE RATIO OF PRECISION AS
CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN
ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL
SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF
JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING
CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(c): THAT THE SURVEY
IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF
EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

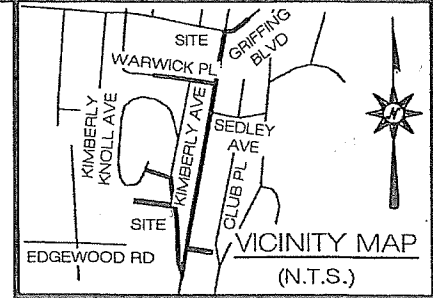
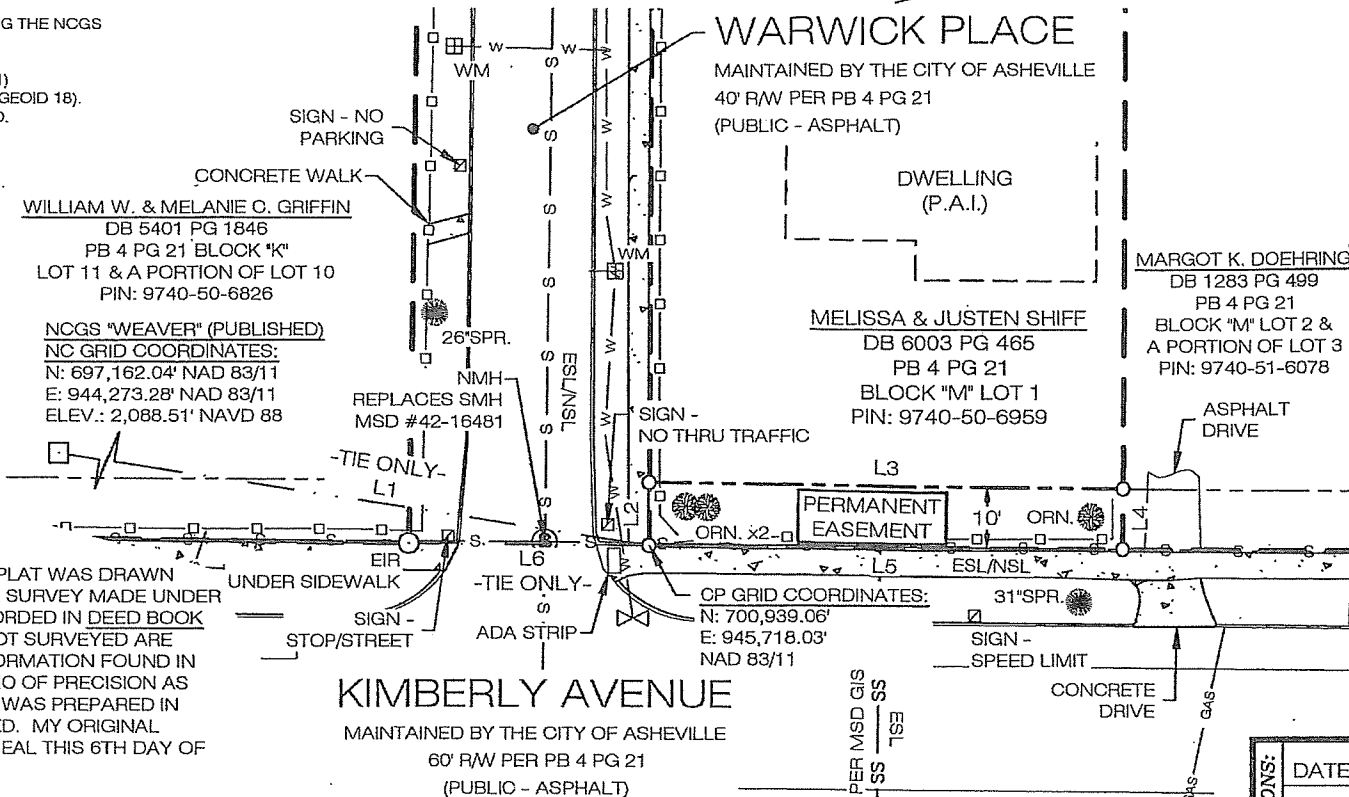
NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.019 ACRES 806.7 SQ. FT.

TOTAL EASEMENT AREA: 0.019 ACRES 806.7 SQ. FT.

NC GRID NORTH
NAD 83 (NSRS 2011)



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- ✕ WATER VALVE
- ⊞ WATER METER (WM)
- ⊞ SIGN
- ⊞ NEW SEWER MANHOLE (NMH)
- CONIFEROUS TREE (TYPE AS NOTED)
- SMH - EX. SEWER MANHOLE
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- SPR - SPRUCE TREE
- ORN - ORNAMENTAL TREE
- S — S — NEW SEWERLINE
- SS — EX. SANITARY SEWER
- — — BOUNDARY LINE
- - - - NEW PERM. EASEMENT LINE
- - - - TIE LINE ONLY
- — □ — BOARD FENCELINE
- W — W — WATER LINE (MARKED)
- GAS — GAS LINE (MARKED)

LINE	BEARING	DISTANCE
L1	S 20°55'56" W	4043.90'
L2	N 77°25'34" W	10.38'
L3	N 12°51'05" E	79.17'
L4	S 77°25'34" E	10.00'
L5	S 12°34'26" W	79.17'
L6	S 12°34'26" W	39.91'

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029

SEWER LINE EASEMENT ACROSS THE PROPERTY OF:

MELISSA & JUSTEN SHIFF

SCALE: 1"=30'

PROJECT #: 22-169

DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC

NOTES

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT WOULD BE REVEALED BY A TITLE SEARCH.
2. ALL CORNERS ARE MARKED AS SHOWN IN THE LEGEND UNLESS OTHERWISE NOTED.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES UNLESS OTHERWISE NOTED.
4. NO MISSING CORNERS SET.
5. BEARINGS ARE BASED ON NC GRID NORTH USING THE NCGS RTK NETWORK.
COMBINED FACTOR 0.999792
POSITIONAL ACCURACY: 0.06' HORIZ. (NAD 83/11)
0.05' VERT. (NAVD 88) (GEOID 18).
6. AREA COMPUTED BY THE COORDINATE METHOD.

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, _____, REVIEW
OFFICER OF BUNCOMBE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____

DATE _____

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

I, JOHN WESLEY COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 6251, PAGE 643); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK 6251, PAGE 643; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6TH DAY OF JUNE, A.D., 2024.

I ALSO HEREBY CERTIFY THAT THIS SURVEY IS OF THE FOLLOWING CATEGORIES AS DESCRIBED IN G.S. 47-30(f)(11)(d): THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

JOHN WESLEY COLE, P.L.S.

L-4561

COLE SURVEYING & DESIGN, PA

549 ELK PARK DRIVE, SUITE 707

ASHEVILLE, NC 28804

PHONE: 828-251-7025

NC FIRM #C-3106 | SC COA #4052

AREA TABLE

PERMANENT EASEMENT: 0.015 ACRES 665.8 SQ. FT.

TOTAL EASEMENT AREA: 0.015 ACRES 665.8 SQ. FT.

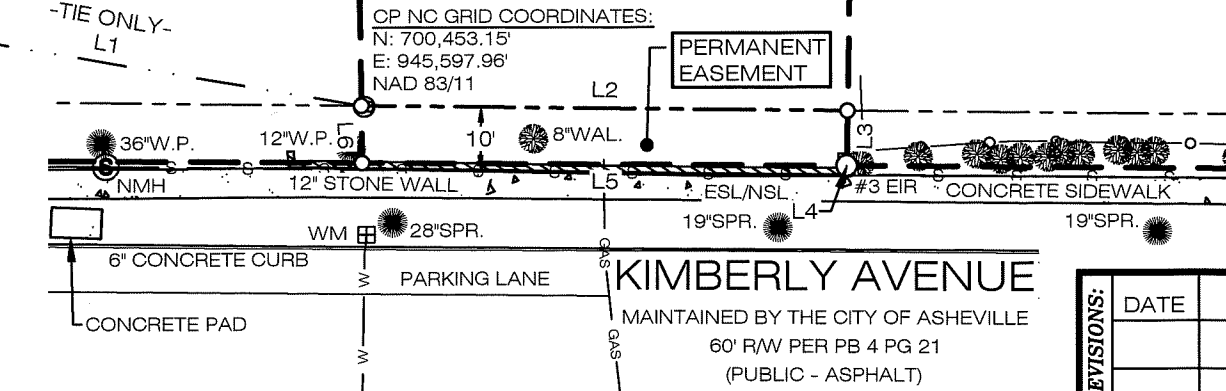
NC GRID NORTH
NAD 83 (NSRS 2011)

ROBERT N. & JAN M. MERIWETHER
DB 5140 PG 1378
PB 127 PG 197
LOT 1
PIN: 9740-50-5317

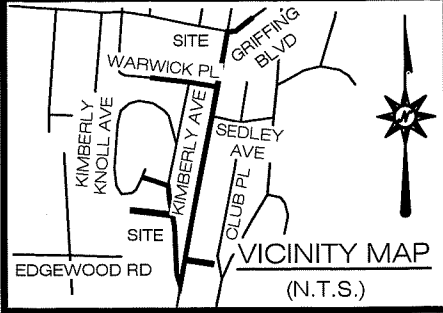
THE HIP JOINT, LLC
DB 6251 PG 643
PB 4 PG 21 BLOCK "K"
LOT 5
PIN: 9740-50-5540

STEPHEN M. & SHERRY E. DAVID
DB 2347 PG 870
PB 4 PG 21 BLOCK "K"
LOTS 7, 8 &
A PORTION OF LOT 9
PB 103 PG 33
PIN: 9740-50-5662

NCGS "WEAVER" (PUBLISHED)
NC GRID COORDINATES:
N: 697,162.04' NAD 83/11
E: 944,273.28' NAD 83/11
ELEV.: 2,088.51' NAVD 88



LINE	BEARING	DISTANCE
L1	S 21°55'29" W	3547.70'
L2	N 12°54'00" E	76.04'
L3	S 76°59'43" E	8.60'
L4	S 12°48'30" W	0.05'
L5	S 12°38'52" W	75.74'
L6	N 78°36'42" W	8.94'



LEGEND:

- CALCULATED POINT (CP)
- EXISTING CONCRETE MONUMENT (NCGS)
- EXISTING IRON REBAR (EIR)
- ⊗ EX. CLEAN OUT
- ⊙ NEW SEWER MANHOLE (NMH)
- ⊕ WATER METER (WM)
- DECIDUOUS TREE (TYPE AS NOTED)
- ORNAMENTAL TREE
- NSL - NEW SEWER LINE
- ESL - EXISTING SEWER LINE
- SPR - SPRUCE TREE
- W.P. - WHITE PINE TREE
- WAL - WALNUT TREE
- S — S — NEW SEWERLINE
- — — BOUNDARY LINE
- — — NEW PERM. EASEMENT LINE
- — — TIE LINE ONLY
- W — W — WATER LINE (MARKED)
- GAS — GAS LINE (MARKED)
- ○ — ○ — CHAIN LINK FENCELINE

REVISIONS:	DATE	REVISIONS MADE	BY:

METROPOLITAN SEWERAGE DISTRICT OF
BUNCOMBE COUNTY, NC
KIMBERLY AVENUE @ SEDLEY AVENUE SEWER REHAB
MSD PROJECT #2018029

SEWER LINE EASEMENT ACROSS THE PROPERTY OF:

THE HIP JOINT, LLC

SCALE: 1"=30' PROJECT #: 22-169 DATE: 6/6/24

CITY OF ASHEVILLE, BUNCOMBE COUNTY, NC